

Application for the Proposed NEW foundation for:

140 Torsey Shore Rd

Readfield, Maine

04355

To be presented to the Planning Board of Readfield, Maine

April 12, 2022

To Be presented by the homeowner: Heather Lawrence

I am requesting to put a foundation under the current structure located at 140 Torsey Shore Rd. The foundation would be constructed under the indoor dwelling space and the deck that was constructed in 2006 by the prior owner (parallel with the property).

The property is not currently on any foundation. There has been significant settling of the property and the exterior door to the property is unable to be shut/locked. I would like to provide structural support and safety, decrease runoff damage, and increase storage space for the property. I would like to improve upon my property. The expected cost of this project including materials and labor is: \$70,000.00

The following application includes:

Section I) Planning Board Land Use Permit Application: pages 1-3

Section II) Planning Board Review Criteria Questionnaire: pages 4-7

Section III) Required Submittals: pages 8-18

Section IV) Exhibits: pages 18-24

- i) Exhibit A: Readfield Maine Tax Map: *pages 19-21*
- ii) Exhibit B: Copy of Deed for subject property: *pages 22-23*
- iii) Exhibit C: 2022 Survey and septic site location: *pages 24-29*
- iv) Exhibit D: Dimensions of proposed project: *pages 30-31*
- v) Exhibit E: Elevation of current structure: *pages 32-34*

NEED SEPTIC
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Section I)
Planning Board
Land Use
Permit
Application

1

Permit Fee _____
Date Paid _____
Receipt # _____

Town of Readfield
Readfield, Maine 04355
(207) 685-4939

Map 106 Lot 75

Planning Board
Land Use Permit Application

The undersigned applies for approval of the Readfield Planning Board as follows:

1. Applicant / Owner: Agent (if any):
- Name Heather Lawrence Name _____
- Address 140 Dorset Square Address _____
- Rd Readfield, ME _____
- Phone# (W) _____ Phone# (W) _____
- (H) 207-313-1413 (H) _____

Note: Property owner must provide written authorization if he/she wishes to be represented by an agent. Such authorization may be provided either by signing this application, or by providing authorization by means of a separately signed statement included with the application.

2. Please describe what you are proposing to do:
- Put a foundation under existing structure. Existing structure is significantly shifting due to settling.
- Unable to close/lock door due to settling.

3. What land use district, e.g. rural residential, is the property located (as defined in Article 7 of the Land Use Ordinance (LUO) and depicted on the Land Use Map)?

Shoreland

4. What is the existing use of the property (see Table 1/Table of Uses, Article 7, of the LUO)?

A season camp/home (full time residence)

5. What is the proposed use of the property as best described from Table 1/Table of Uses in Article 7?

continued residence

5. Lot Width 105 feet Lot Depth 180 feet Lot Area in Acres (1 acre = 43,560 sq. ft.) 13,239 sq. ft. = .3 acres

Please see survey

6. If a structure is proposed to be built, or expanded, list the following: None. See floor plan.

Type of Structure(s)	Length +/-	Width +/-	Height
<u>foundation</u>	<u>36.8</u>	<u>25.6</u>	<u>will raise structure 5'</u>

Non-Conforming Structures

Questions to answer if you are seeking a permit to expand, relocate, reconstruct or replace a **non-conforming structure** or are seeking a permit to build a new, enlarged or replacement foundation beneath an existing **non-conforming structure**. (See Article 11 of the Land Use Ordinance for definition of "non-conforming.")

- A. For an expansion of a structure, please list the total **floor area** for all portions of the structure(s) located between 25 to 75 feet from the normal highwater line of the water body, tributary stream, or upland edge of a wetland: between 75 ft --. (Please attach a worksheet showing how you calculated the total **floor area**. The term "**floor area**" is defined in Article 11 of the Land Use Ordinance.")

- B. For an expansion of a structure, please list the total **floor area** for all portions of the structure(s) located between 75 to 100 feet from the normal high-water line of the water body: between 100 ft --. (Please attach a worksheet showing how you calculated the total **floor area**. The term "**floor area**" is defined in Article 11 of the Land Use Ordinance.")

- C. If you plan to put in a new, enlarged or replacement foundation below a non-conforming structure OR if you are seeking to relocate, reconstruct or replace a non-conforming structure, please describe whether the foundation or structure can be located further from the water to meet, or come closer to meeting set-backs, and if not, explain why it cannot be moved further back.
it meets setback from water. Survey completed in 2077 + is attached.

- D. For structures in the Shoreland Residential, Resource Protection or Stream Protection zones, please show how the proposed development does not result in exceeding the 20% lot coverage maximum. See Article 11 of the Land Use Ordinance for definition of "**lot coverage**."
See survey. I will not be expanding as the dimensions of structure will not change with foundation.

I certify that the foregoing, and the attached materials including responses to review criteria, are true, correct and accurate to the best of my knowledge.

Signature of Applicant / Owner [Signature] Date 3-8-22

Signature of Agent (if any): _____ Date _____

Instructions for Completing the Review Criteria Questionnaire

A review by the Readfield Planning Board will be restricted to the criteria set forth in Article 6, Section 3.C, below. Following this Article is a questionnaire intended to help you provide information to demonstrate that your proposed use meets these criteria. Please respond to these questions as completely as possible as they relate to your proposed project. Any questions that

Section II)
Planning Board
Review Criteria
Questionnaire

Applicant: Town of Readfield

Planning Board Review Criteria
Questionnaire

1. State how the proposed activity will not have an undue adverse affect on:
 - a) the scenic or natural beauty of the area.
The foundation will be professionally constructed in accordance
 - b) any historical sites that may be located on the property, to all Federal/State/Town laws.
None.
 - c) any significant wildlife habitat,
No changes.
 - d) any public rights for physical or visual access to any shoreline,
No changes.
 - e) any rare and irreplaceable natural areas,
No changes.
2. a) What other Town, State or Federal permits will be required for this project?
DEP None for foundation. DEP permit by Rule for landscaping.
- b) Do you intend to apply for these permits?
I already have.
- c) Are you committed to conducting this activity and subsequent use of the property in conformance with all applicable Town, State and Federal laws, rules, regulations and ordinances?
Yes.
3. State how the proposed activity will:
 - a) prevent stormwater from giving rise to soil erosion both during and after the development, Silt fences trenched into earth at waterline. Erosion Control Berm, hay. I talked with Jami MacNeil at DEP and was told these were appropriate measures.
(In this regard you may reference the appropriate erosion control or stormwater management books available at the Town Office)
 - b) reasonably conserve the land's capacity to hold water,
will not be affecting surrounding land.
4. State what impact the proposed activity will have upon the Town's public services and facilities. This may include, but not be limited to the amount and type of anticipated traffic, requirements for emergency services, effects relating to public education, etc.
I do not anticipate any of this.
5. a) What financial resources (including mortgage commitments) do you have to assure the completion and implementation of this project in compliance with the Land Use Ordinance?
I have secured the money to pay for this since 8 months ago.
- b) What technical support will be used in connection with any design, development or use of the project?
I have talked to several contractors.

- 6
6. a) Is any portion of the subject property located within, or affected by any flood areas as depicted on the Federal Emergency Management Agency Flood Insurance Rate Map? (These Flood Maps are available for your reference at the Town Office). NO
- i) If the answer to question (a) is yes, do you intend to include any portion of your development within the boundaries of the flood plain, including any structures or buildings, wells, wastewater disposal systems, or any storage or placement of property stockpiling of materials? N/A
- ii) If the answer to question (i) is yes, how do you intend to develop this project (including it's subsequent use) to comply with the Floodplain Ordinance of the Town of Readfield? N/A
7. a) Does your proposed development or use include any alteration of or impact to any wetland? If the answer to this question is yes, describe how you intend to minimize this impact? NO
- b) Are you aware that any wetland alteration requires additional permitting on the State or Federal level and will you be applying for those? Yes. landscaping/retaining wall DEP permit
8. What part of your development or use will rely on or could impact groundwater? Excavating underneath the camp.
9. a) State the nature of solid waste your proposal will generate both during development and the subsequent use of the property.
- b) Will this solid waste be taken to the Town Recycling Station? NO If so, how will the Town be compensated for handling such waste? N/A
- c) If the solid waste is not to be taken to the Town Recycling Station, how do you plan to dispose of it? The contractor will use legal "fill sites"
10. Do you intend to connect to any public water supply? NO
11. a) What impact, if any, could the proposed activity have on adjacent properties and their uses. State whether any noise, glare, fumes smoke, dust, odors, or other affects will be generated. possible noise for 2-4 weeks.
- b) Describe the anticipated extent of these impacts and how you intend to buffer or reduce them to a level acceptable to adjacent properties. work only during daytime.
12. a) What is the approximate percentage of slope of the land? 15°
- b) What are the nature of the soils? clay, loams
- c) What is the nature and extent of the existing vegetation on the site of development or use? Normal grass
13. a) What is the nearest waterbody (lake, pond, stream, or brook)? Torsey Pond
- b) What is the least distance between the waterbody and the project site? 100+ feet
- c) What part of your project could impact one of these waterbodies? Building foundation
- d) How do you intend to minimize this impact? Erosion control materials

14. How do you intend to provide for the adequate disposal of sewage and wastewater in order to comply with the requirements of the State Plumbing Code?

There will be none. Porta John for workers may be utilized.

15. Describe or illustrate on a separate paper how you intend to control and manage any additional stormwater resulting from this project or use. You may reference the publication, "Stormwater Management for Maine, Best Management Practices" published by the Department of Environmental Protection (1995) and which is available for reference at the Town Office.

(page 17) please see question #13 in required submitte

NOTE: If the project results in 20,000 sq. ft. or more of impervious area in the Maranacook Lake watershed or more than one (1) acre in the other lake watersheds, or more than five (5) acres of disturbed area in either watershed, a Stormwater Management permit from the Department of Environmental Protection will be required.

16. What will your water requirements be for this use and what will be your water source? Water would be provide for concrete by the concrete contractor.

17. What types and amount of additional traffic do you expect as a result of this use?

25 cars a day for 1 month.

18. What are your plans for permanent access to the site of the proposed use?

I currently have access.

19. Does your proposed development or use cross the Readfield town line? NO

If so, into which town? NO

How will you avoid causing unreasonable traffic congestion or unsafe conditions as related to the use of that town's public ways?

There will be no unreasonable traffic

20. What is the estimated depth-to-frontage ratio of the lots you propose to create or develop?

only what currently exists. Will not create/develop more.

21. Has a representative of the Readfield Fire Department reviewed your proposal?

No.

22. Are there currently any enforceable land use violations associated with this property?

No.

23. If your project involves the construction of a road has the road design been approved by the Road Committee?

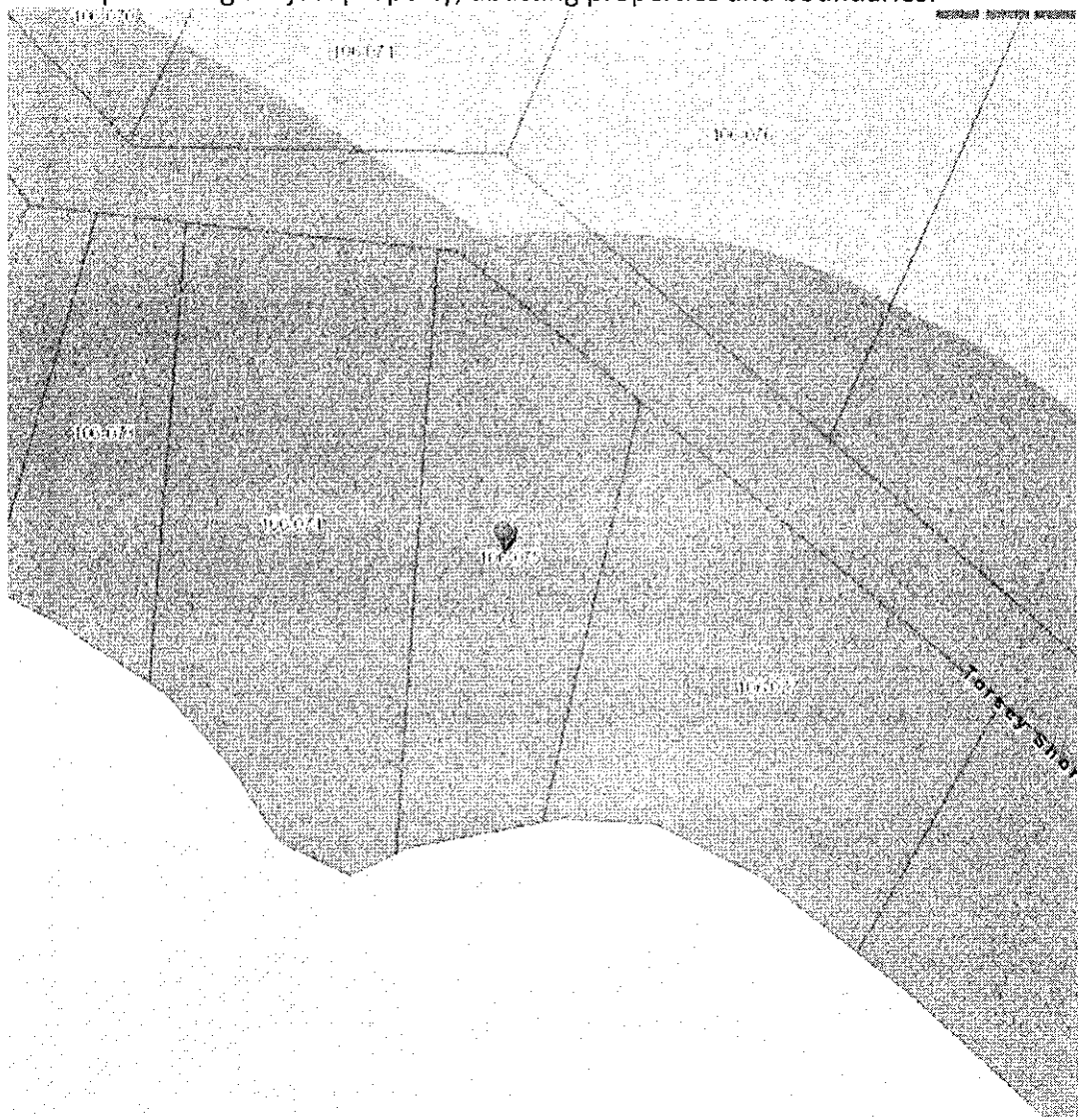
N/A - no involvement of road construction.

Section III)
Required
Submittals

REQUIRED SUBMITTALS

For the application of:
140 Torsey Shore Rd, Readfield, ME 04355
Requested Foundation
To Be Presented to the Planning Board of Readfield Maine
April 12, 2022

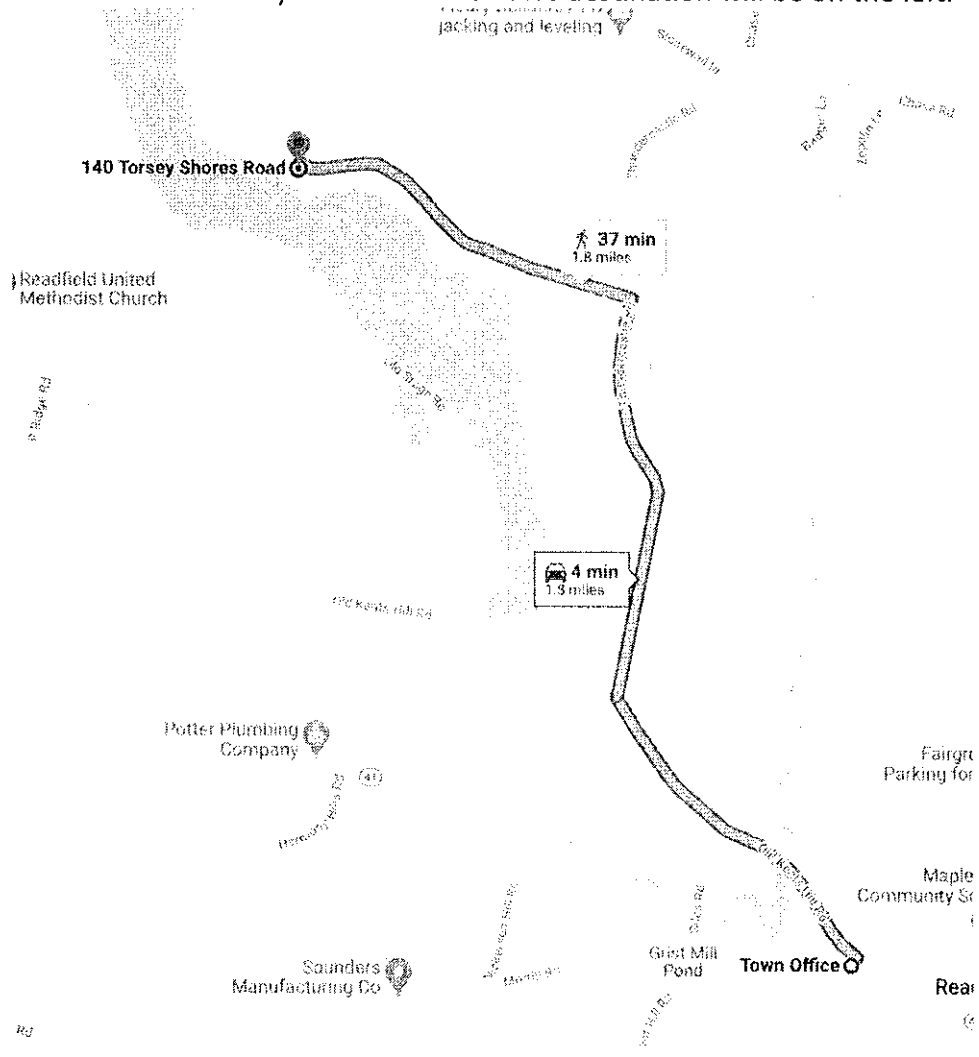
- 1) Tax Map Showing subject property, abutting properties and boundaries:



- 2) Names and Mailing Address of all property owners abutting the subject property:
To the Left of Subject Property:
Clark and Lisa Hitcher: 130 Torsey Shore Rd, Readfield Maine, 04355
To the Right of Subject Property:
Cindy Cushing: 140 Torsey Shore Rd, Readfield Maine, 04355
Across the street of Subject Property:

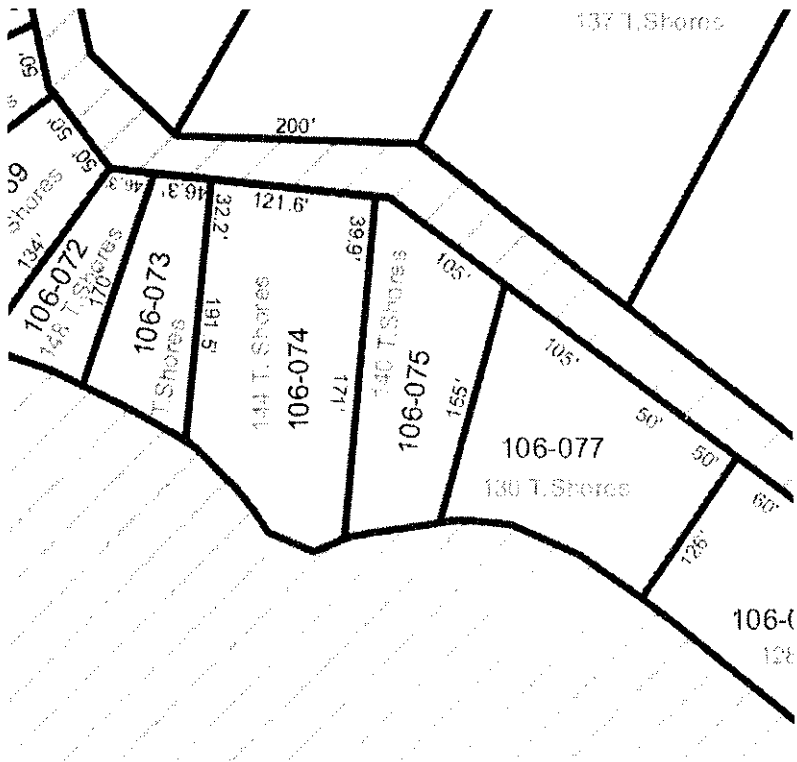
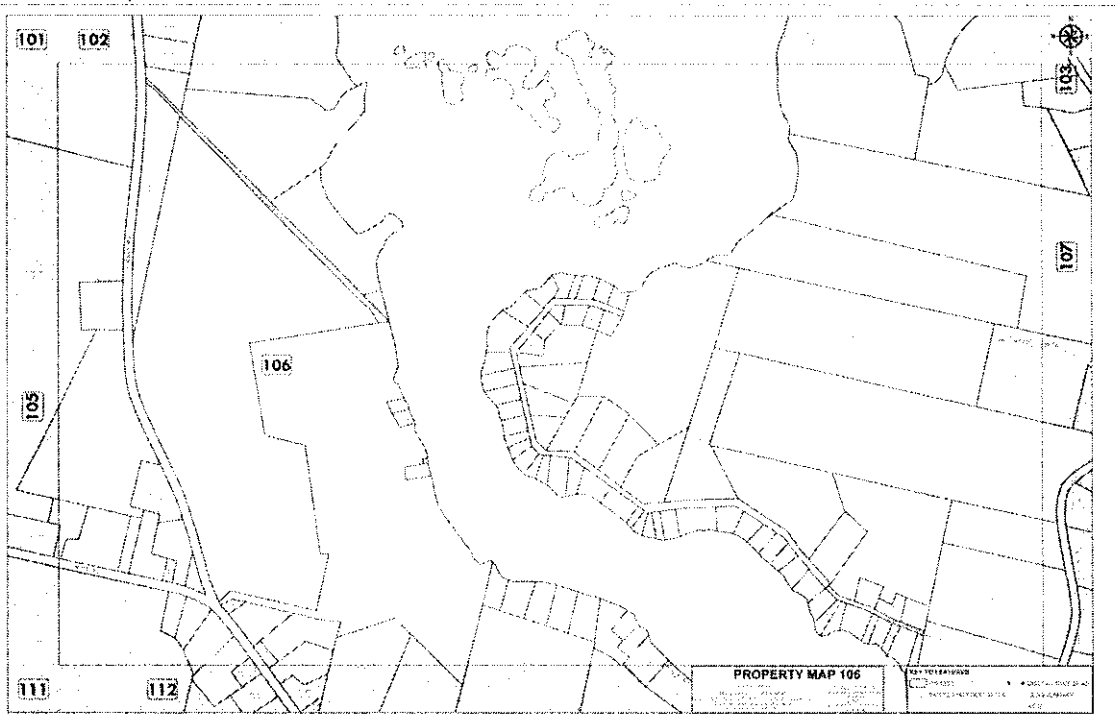
Kassandra and Matthew Choate: 137 Torsey Shore Road, Readfield Maine, 04355

- 3) Exact direction to the property from Readfield Town Office:
 Head northwest on Old Kents Hill Rd Towards Giles Rd for .6 mi
 Turn Right onto Thundercastle Rd, follow for .6 miles
 Turn Left onto Torsey Shore Rd: in .6 miles destination will be on the left.



X

4) Assessor's tax map and lot numbers of the parcels: Map 106 Lot 075 (Full Map and Zoomed in)

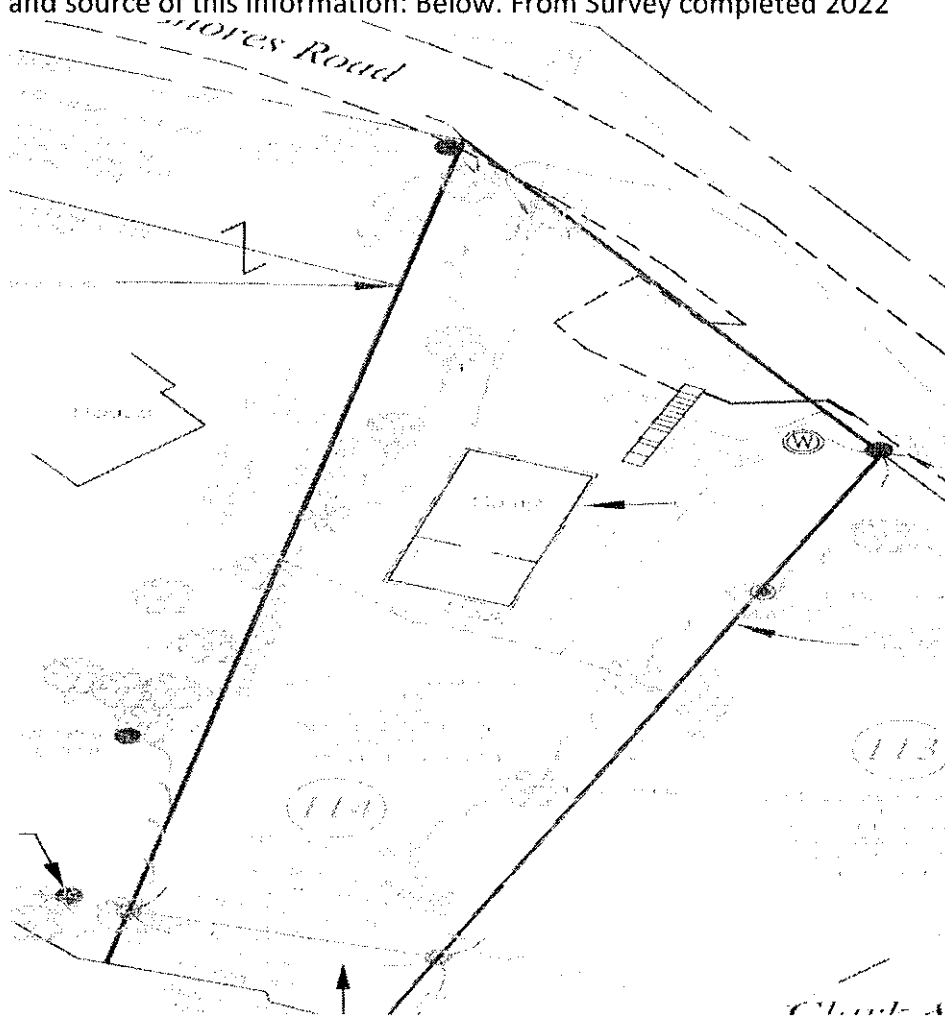


- 5) A Copy of the Deed: Deed attached as "Exhibit B"
- 6) Name, registration number and seal of land surveyor.
 Name: Kane P Coffin
 Registration Number: 1292

E.S. COFFIN
 ENGINEERING & SURVEYING, INC.
 432 Coombs Road, P.O. Box 2087, Augusta, Maine 04419
 Tel: (207) 623-9915 Fax: (207) 623-9917

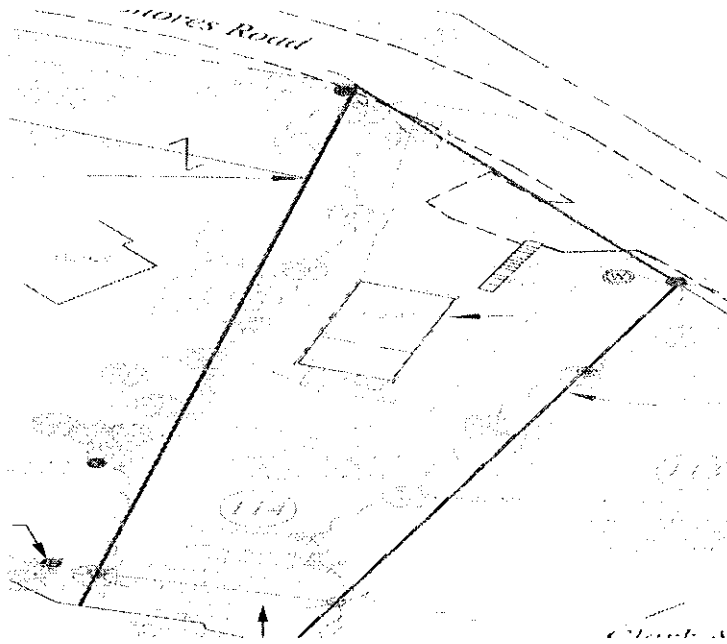
THIS PLAN PRELIMINARY
 STATE OF MAINE
 KANE P. COFFIN
 #1292
 PROFESSIONAL
 LAND SURVEYOR
 WITHOUT SIGNATURE

- 7) Map Showing the north Bearing and lot dimensions of all property lines of the property and source of this information: Below. From Survey completed 2022



8) Site Plan (Survey: This is attached as Exhibit C)

a) Location of Existing sewer/water lines. I have included in Exhibit C location of septic Tank/field. The below image from 2022 Survey shows a "W" for location of dug well.



- b) Existing Road: Torsey Shore Road.
- c) Existing structure dimensions: 42x22 (42 ft long perpendicular to water/road. This is inclusive of a 36.8 ft dwelling with an additional 6 ft deck. 22 ft wide)
- d) NA. No intersecting road or driveways within 200 ft.
- e) Torsey Shore Pond/Lake is slightly more than 100 ft from the structure. During foundation construction, silt fences shall be used pre, during, post construction until full completion.
- f) CMP Easement for electric power at road side of property.
- g) NA Not requesting for any new or replacement wastewater systems.
- h) NA Only existing easement is for electric/phone.
- i) For any project which shall result in a change to exterior lighting, location, height.
- j) Proposed Landscaping: In 2017, an agent of the Maine EPA came to 140 Torsey Shore Road to test the water quality at the shoreline for any signs of negative and toxic erosion. The agent had advised to a retaining wall/leveling in front of property would be beneficial to the possible negative effects of erosion. During the foundation construction, immediately in front of the property would be filled in with existing dirt from the property and a stone wall retaining wall would be built in to lessen and prevent the effects of erosion.
- k) Location of earth moving: Directly under the property earth will be moved. Directly in front of the property it will be graded out.
- l) There are no current or proposed covenants or deed restrictions.

9) No current Federal, State or Town Permits. The landscaping/retaining wall will require a "Permit by Rule" from the EPA which is currently in process.

10) This proposal meets the Planning Board Criteria in the following ways:

a) Aesthetic, Cultural, and Natural Values:

i. This proposal will enhance the current structure by enhancing its structural integrity. The structure is currently settling significantly. The lack of erosion control in front of the camp leads to runoff. After completion of the project, this will be significantly mitigated.

b) Conformity with Local Ordinances and Plans:

This proposal will conform to all local ordinances and plans.

c) Erosion:

This proposal will not cause soil erosion. The result should be a decrease in current erosion. During the construction of proposed foundation, proper precautions to prevent erosion will be used (Such as silt fences)

d) Financial Burden on Town: This proposal will not cause a financial burden on town.

e) Financial and Technical Capabilities: I have secured the necessary funding to complete this project and currently have it ready and available.

f) Flood areas: This proposed activity shall not adversely impact flood plain areas.

g) Wetlands: This proposed activity shall not have an adverse impact on freshwater wetlands.

h) Groundwater: The proposed activity will not adversely impact the quality or quantity of groundwater.

i) Adjacent Land Uses: This proposed activity will not have an adverse impact on adjacent land. The only possibility of this is construction for approximately 2-4 weeks.

j) Pollution: This proposed activity will not result in water and air pollution.

a) Erosion control will be utilized during construction. Retaining wall will help prevent extreme runoff at end.

b) Nature of Soils and subsoils: I found the following online at [https://www.nrcs.usda.gov/Internet/FSE MANUSCRIPTS/maine/kennebecME1978/kennebecME1978.pdf](https://www.nrcs.usda.gov/Internet/FSE_MANUSCRIPTS/maine/kennebecME1978/kennebecME1978.pdf). It details the soils from a survey of Maine soils in 1978. In accordance to this and logical viewing and handling of the subject property's soil, this appears accurate.

2. Buxton-Scio-Scantic association

Deep, moderately well drained to poorly drained, nearly level to sloping, medium textured soils; in flat areas and near waterways

This association is generally on sloping banks near waterways and on nearly level to gently sloping areas away from streams, along the Kennebec River, Sebasticook River, and other brooks and streams.

This association makes up approximately 16 percent of the county. It is about 44 percent Buxton soils, 16 percent Scio soils, 10 percent Scantic soils, and 30 percent minor soils (fig. 2). Of minor extent in this association are Suffield, Hartland, Biddeford, Rifle, and Hollis soils.

The major soils in this association formed in marine and lacustrine sediments. Buxton soils are moderately well drained to somewhat poorly drained. In a typical profile they have layers of silt loam over silty clay loam underlain by silty clay material. They are adjacent to the well drained Suffield soils and the poorly drained Scantic soils. The Scio soils are moderately well drained. In a typical profile they have layers of very fine sandy loam over silt loam underlain by alternating layers of

silt loam and very fine sandy loam. They are usually adjacent to well drained Hartland soils. Scantic soils are on flats or in depressions.

The soils in this association are used mainly for hay, pasture, or woodland. Wetness and permeability are the major limitations to use for cultivated crops and septic tank absorption fields. Supplemental drainage and erosion control are the major concerns of management.

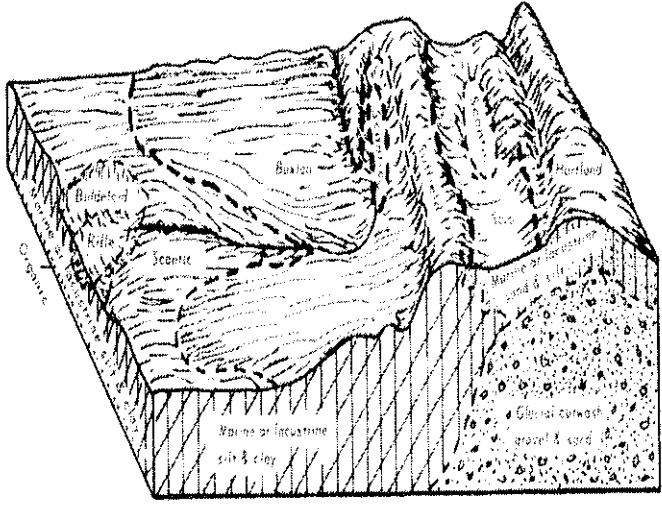


Figure 2.—Typical pattern of soils in Buxton-Scio-Scantic association.

The types of soils are described as: Silt, Clay, Loam. The Clay loam/Clay silt soil composition will assist in binding any possible phosphorous and decreasing the possibility of phosphorous leakage into the above groundwater and subsequently, Torsey Lake. This type of soil when coupled with the appropriate 100+ set back from the high water shoreline mark, will ensure the ability to adequately support waste disposal.

- c) **Slope of the Land and its effect on effluents:** The slope of the land is approximately 15 degrees. While this slope will be decreased at the end of the proposal, it's effect on effluents is most likely higher when the slope is

larger. I do not anticipate any effluent wastes. There will be erosion control at all times.

d) Any applicable health, air, and water resources and sludge rules/regulations. will be followed. The property has been winterized since Feb 2022 and will there will be no running water /plumbing until the end of the proposed project.

k) **Waterbodies:** This proposal will not have an undue impact on any waterbody's (Torsey Shore Road)

l) **Wastewater Disposal:** This proposal will provide adequate waste water disposal because there will be no wastewater.

m) **Stormwater:** This proposed activity shall:

a. **Provide Stormwater management:** The construction team will pay attention to any impending storms/rain. Trenches to divert away from active construction site can be dug if needed. Silt fences in place at all time along with any other pertinent erosion control materials.

b. **Complying with practices in Stormwater Management for Maine:** The proposed project is on a lot with several trees/shrubs close to the waterfront. There are also some trees that provide moderate to high amounts of shading throughout the whole property. This shading will help keep any storm water cool, which thus lessens any detrimental effect stormwater may have. I did find the following excerpt on maine.gov "Best Stormwater Management Practices Volume 1)

Flood Control: For some projects, controlling large, infrequent storms will still be necessary to avoid flooding of downstream infrastructures. But, traditional flood control is generally unnecessary when projects discharge directly to large water bodies such as lakes, major rivers or tidal waters; and may also be unnecessary or actually harmful for developments near the bottom of a stream's watershed (where peak flow control may delay the peak to coincide with the peak from the upper watershed, thus exacerbating rather than avoiding flooding). A comprehensive analysis of the contributing watershed and the detention structures contained within is the most accurate analysis of downstream impacts; but this analysis requires a significant amount of information.

n) **Sufficient Water:** This proposed activity will have sufficient water available for the reasonable need of the proposed foundation.

o) **Traffic:** There will be no highway or public road congestion or unsafe conditions from this proposed activity.

p) **Legal Access:** All Access will be via property owner's property.

q) **Impact on Adjoining Municipality:** There shall be no impact on adjoining municipalities.

r) **Spaghetti Lots:** This is not applicable as this is not a spaghetti lot.

s) **Life and Fire Safety:** I understand and agree.

t) **Violations:** This proposed activity is not on a property currently in violation of any requirements of this Ordinance.

11) **Evidence of receipt of application paid to the Town Of Readfield:** Provided by Chip Stevens, COE.

12) **Schedule of construction:** Anticipated Start Date: Early July 2022. Anticipated End Date: Late July 2022. Install silt/fences and erosion control. Jacking of the existing

structure. Evacuating underneath the existing structure. Constructing foundation. Replacing existing structure onto newly constructed foundation. Grading out in front of foundation (After receiving needed permit from EPA) and installing stone wall retaining wall. Removing all unneeded fill off premises.

13) Stormwater drainage and erosion and control plan in compliance with Article 8 section 10 and 11.

- a) The soil disturbance shall be kept to a practicable minimum. During construction, care will be taken to ensure that only the smallest and most necessary area of soil is exposed for the shortest amount of time possible. If sedimentation is caused, the sediment shall be removed from runoff water before it leaves the site to prevent the sediment from entering Torsey Shore Pond and/or adjacent properties. The construction is set to begin in July 2022. This time was chosen so the ground was dry (not frozen or saturated) This consistency will help prevent erosion and runoff. The contractor is certified in erosion control practices from the Maine Department of Environmental Protections.

14) There will be no traffic concerns.

15) There is no anticipated solid or hazardous wasted to be generated by the proposed activity.

16) Copy of any dimensional calculations. Attached as "Exhibit D" The dimensions of proposed foundation.

17) Elevations drawings. While the proposed activity is not new commercial, industrial, or institutional. There is an elevation drawing under "Exhibit ~~D~~
E"

**Thank you for your time and consideration of my proposal to place a foundation under
140 Torsey Shore Rd. Readfield, Maine**

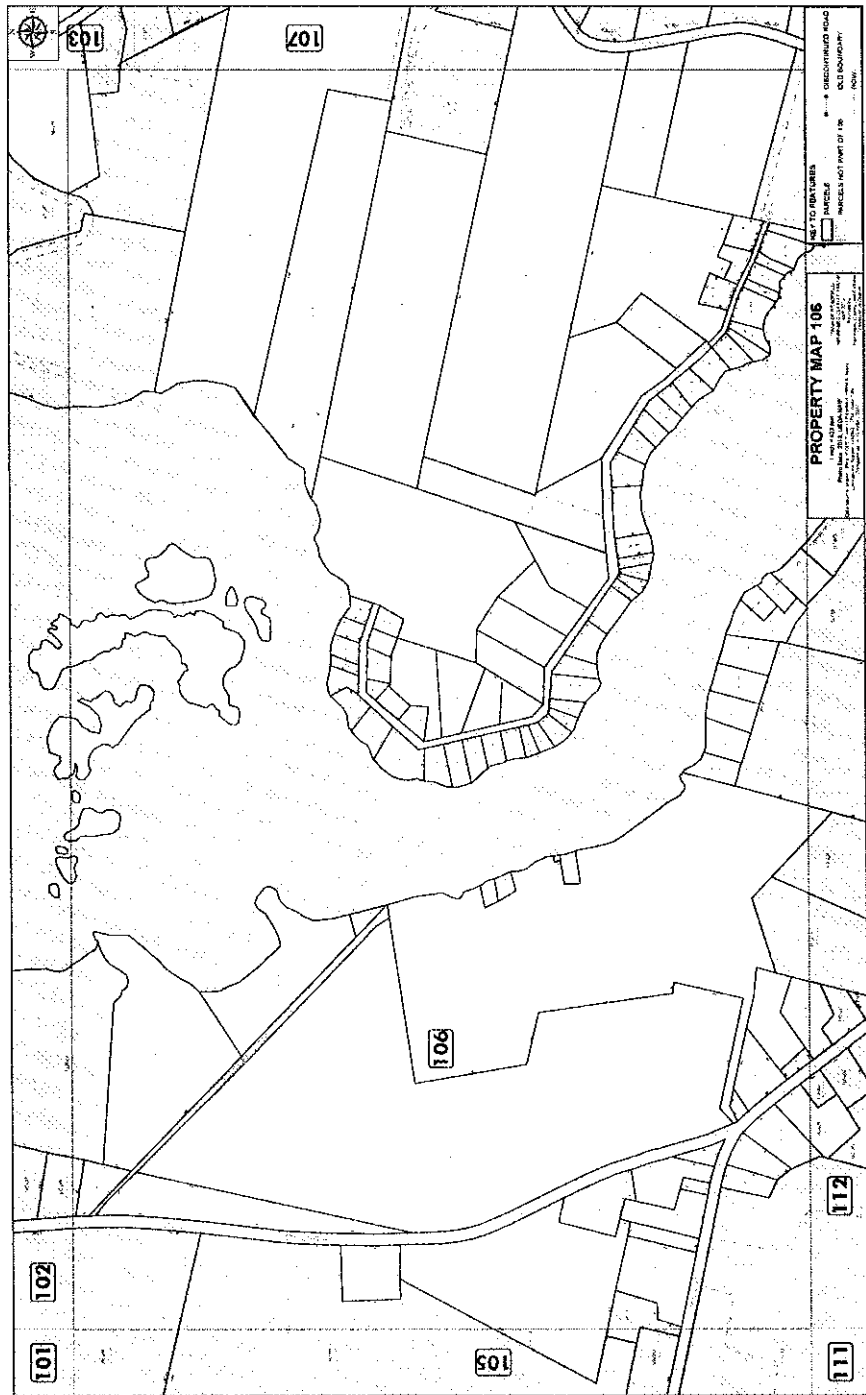
Section IV)

Exhibits

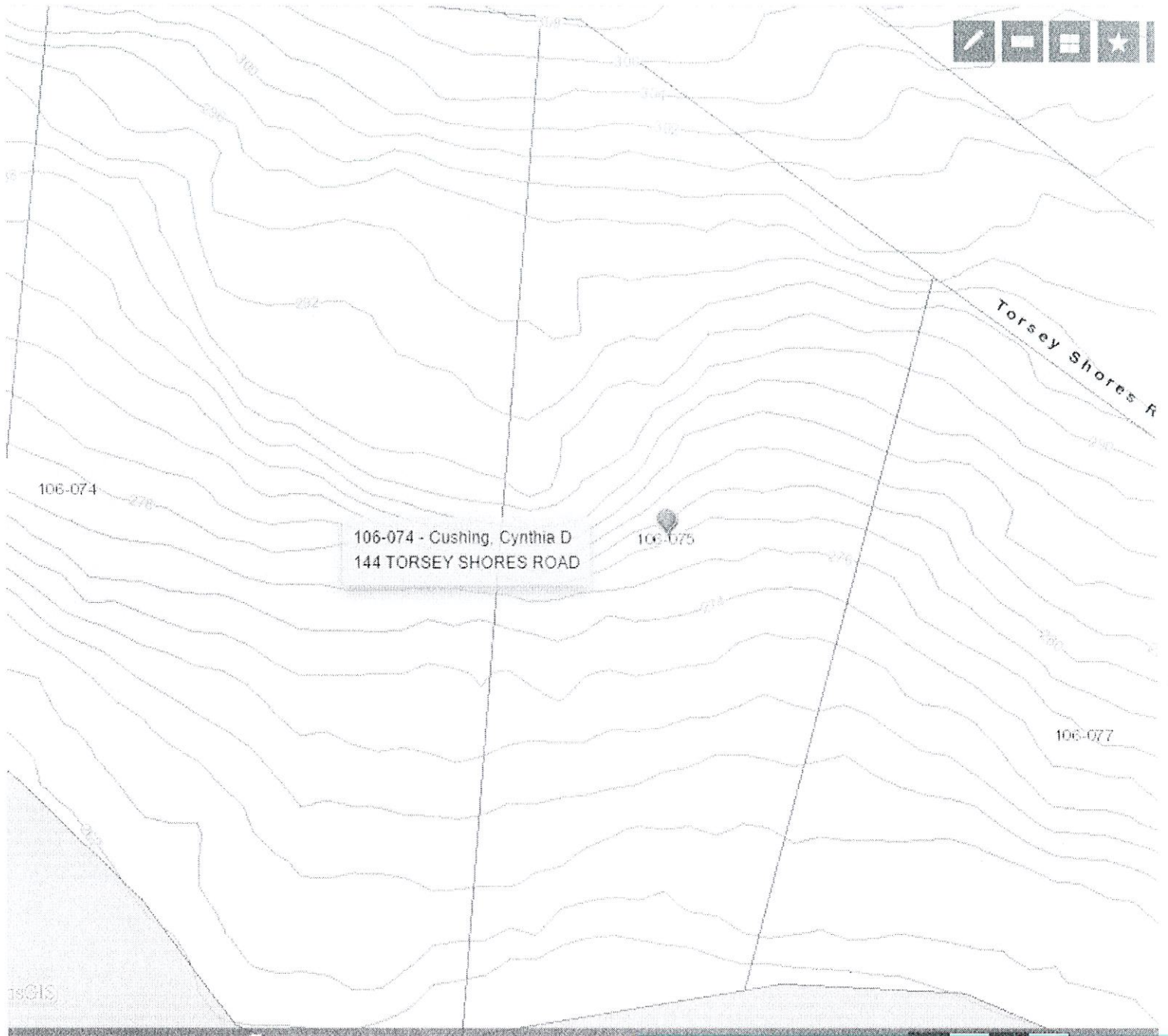
Exhibit A

**Tax Map 106 Readfield, Maine
Lot 75 is subject property.**

**(Also included is a topography map of
subject property)**



21



21

Exhibit B

**Copy Of Deed
140 Torsey Shore Rd**

Return to:
Heather B. Lawrence
42 Aldie Street
Allston, MA 02134

**MAINE REAL ESTATE
TRANSFER TAX PAID**

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS: That I, **Mary E. Finnegan**, of 57 Heritage Drive, Wells, ME 04090, for consideration paid, grant to **Heather B. Lawrence**, of 42 Aldie Street, Allston, MA 02134, with WARRANTY COVENANTS:

SEE ATTACHED EXHIBIT A.

MEANING and INTENDING to describe and convey the same premises conveyed to Mary E. Finnegan by deed of Mary E. Finnegan, duly appointed and acting personal representative of the Estate of Francis T. Finnegan, Jr., dated 12/14/2005 and recorded at Book 8975, Page 315 in the Kennebec County Registry of Deeds.

Executed this 31st day of March, 2016.

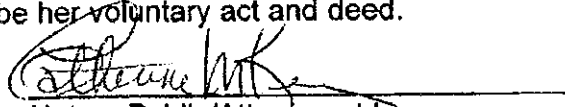

Mary E. Finnegan

State of Maine
County of Kennebec

March 31, 2016

Then personally appeared before me the said Mary E. Finnegan and acknowledged the foregoing to be her voluntary act and deed.

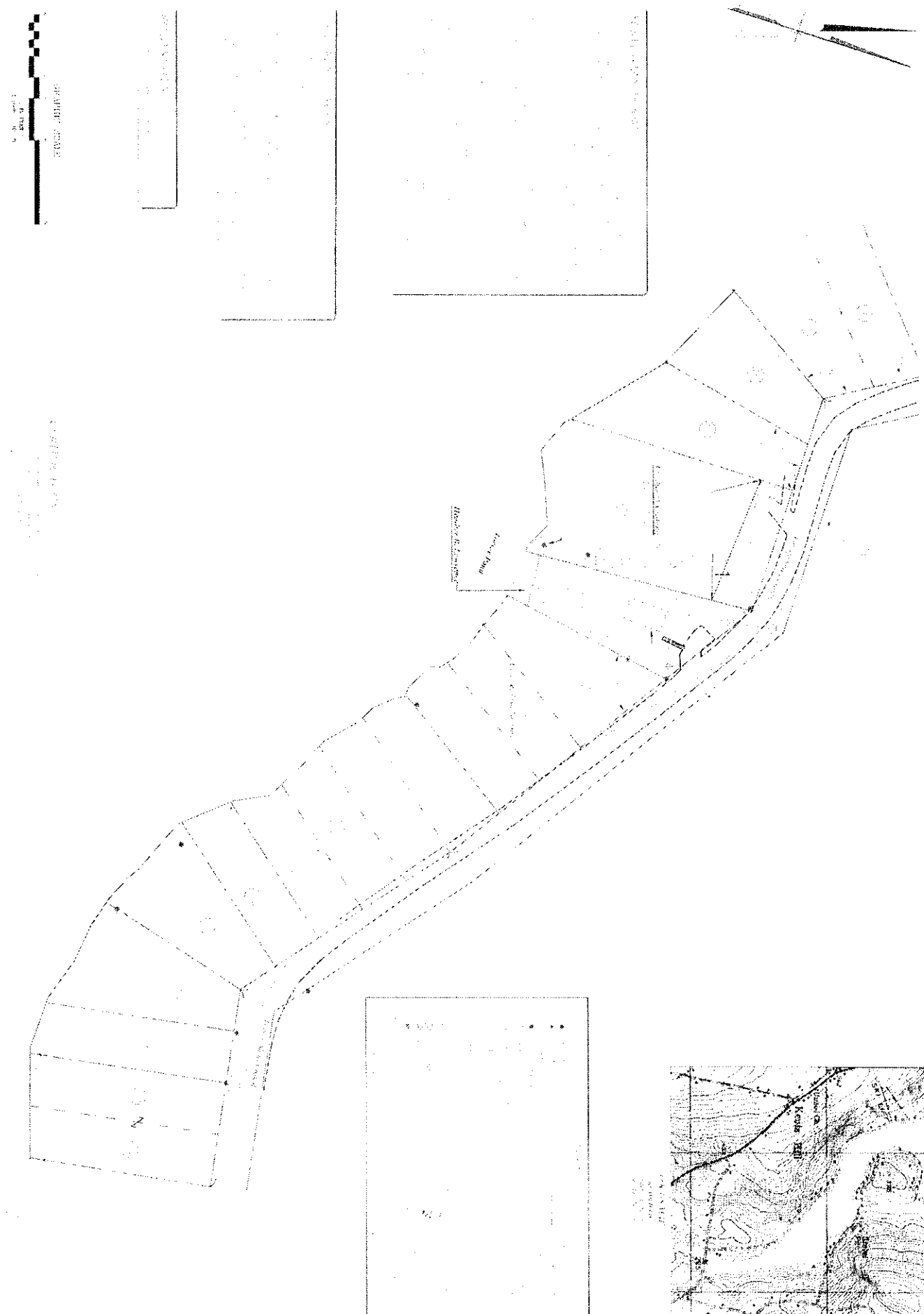



Notary Public/Attorney at Law
Commission expiration:

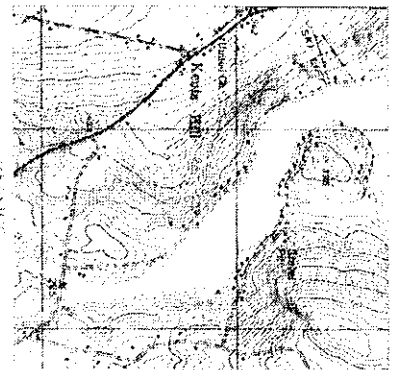
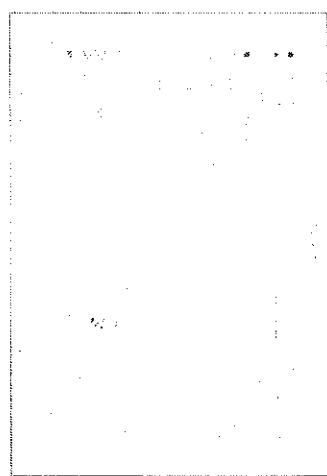
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Exhibit C

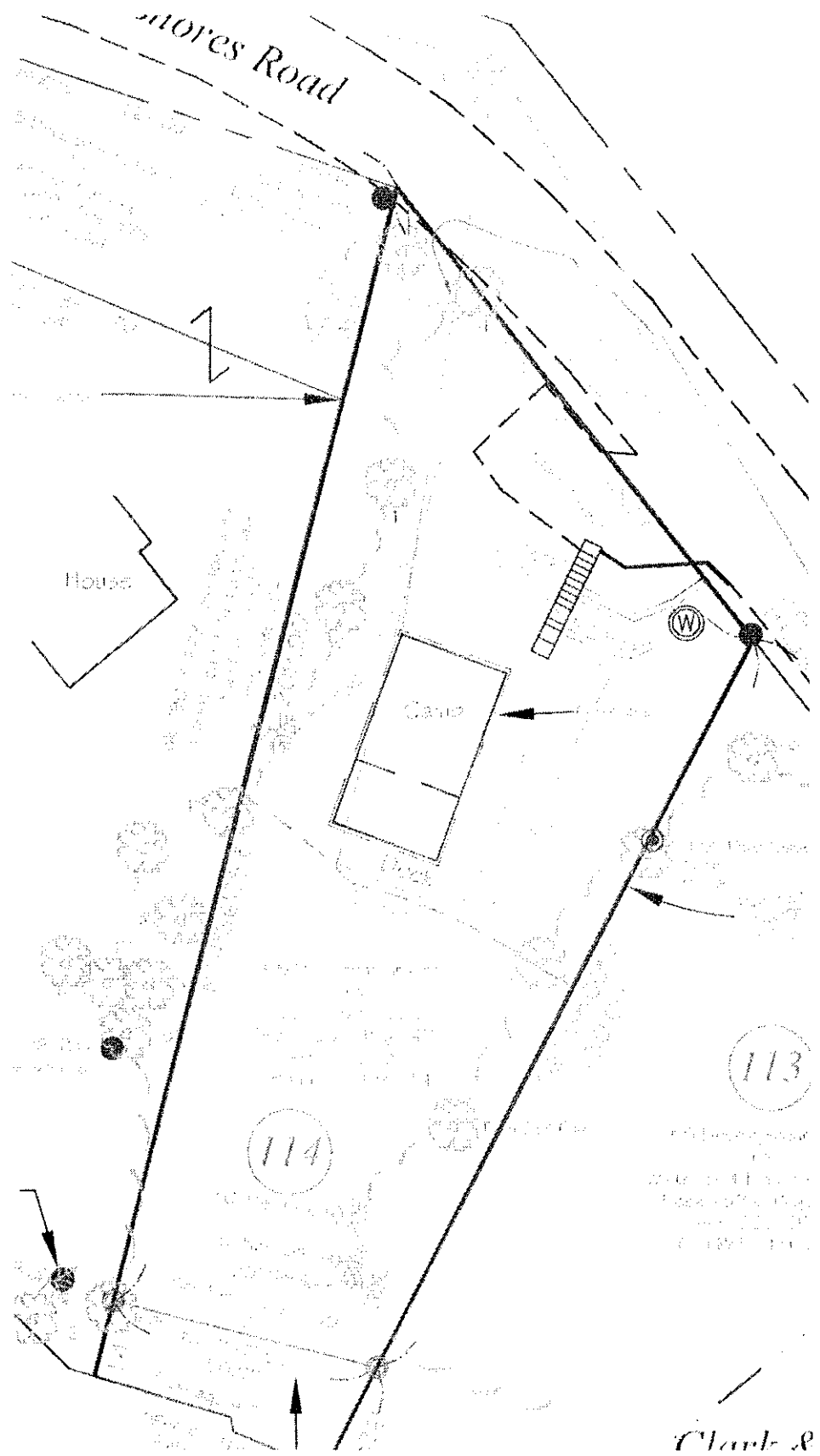
**Survey: 140 Torsey Shore Rd
2022
&
Septic Location**



TORSEY POND PROPERTY
HEATHER LAWRENCE



BS	TORSEY POND PROPERTY HEATHER LAWRENCE		BOUNDARY SURVEY		E.S. COFFIN	
	100 TORSEY SHORES ROAD		TINCH BEACH			
	KENNEBEC MEANE		MAY 7, 2012			



SURVEYOR'S REPORT:

The deed from Mary T. Finnegan to Heather B. Lawrence (Book 12255, Page 331, dated March 3, 2016) conveys Lot 14 of Plan Reference 1. The parcel was originally deeded from J & S Development Corp. to Roger Sires, Sr. (Book 1550, Page 472, dated April 29, 1971). This survey held the property lines as shown on Plan Reference 1.

The parcel benefits from the right to install and maintain water pipes, pumps, electric wires and poles and the right of use of the private way shown on a Plan of Torsey Shores as described in the above mentioned deeds.

The parcel is subject to the easement granted from Francis T. Finnegan to Central Maine Power Company (Book 2813, Page 171, dated May 20, 1985). The parcel may be subject to the easement granted from J & S Development Corporation to Central Maine Power Company and New England Telephone and Telegraph Company (Book 1315, Page 320, dated August 5, 1963) known as the Torsey Line.

The parcels subject to the rights reserved by J & S Development Corporation in the first mentioned deeds are as follows:

1. The right to install and maintain on or in the parcel such water pipes, pumps, electric wires and poles as will not unreasonably interfere with the enjoyment of the rights of the parcel.
2. The right of joint use of the private way as shown on said plan of Torsey Shores and the private way to Thunder Castle Road and the right to repair, maintain or improve the private ways.
3. The right of joint use of the private beach as shown on Plan of Torsey Shores for bathing and swimming and landing of boats as will not unreasonably interfere with bathing and swimming. There is no beach shown on Plan Reference 1 but Plan Reference 2 shows a beach.

All iron pins set are 5/8" rebar, marked with a red plastic surveyor's cap (ES COFFIN ENG PLS 1292). All directions are Magnetic North, derived from Plan Reference 1.

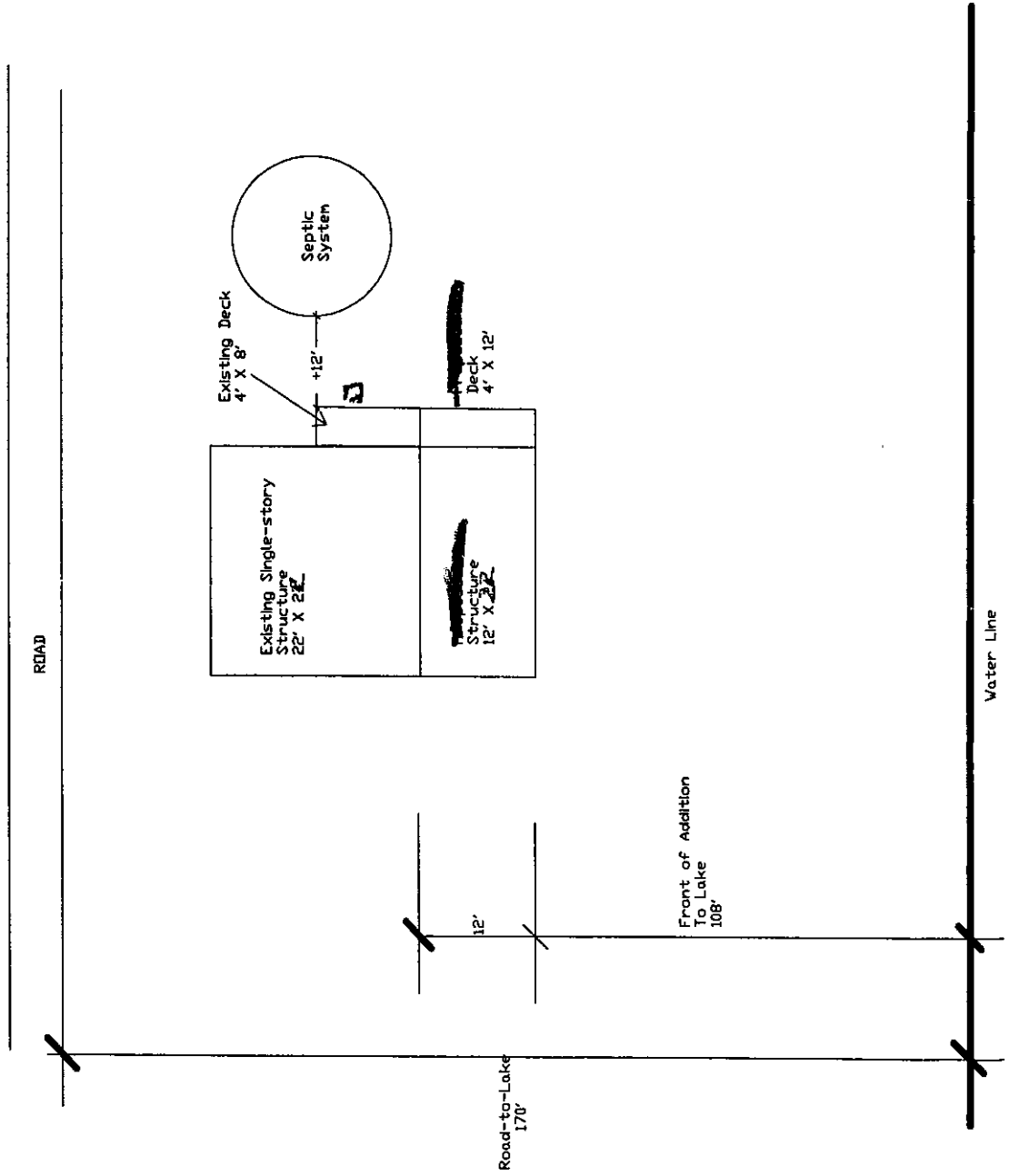


Exhibit D

**Dimensional Calculations
of Proposed Project**

140 TORSEY POND

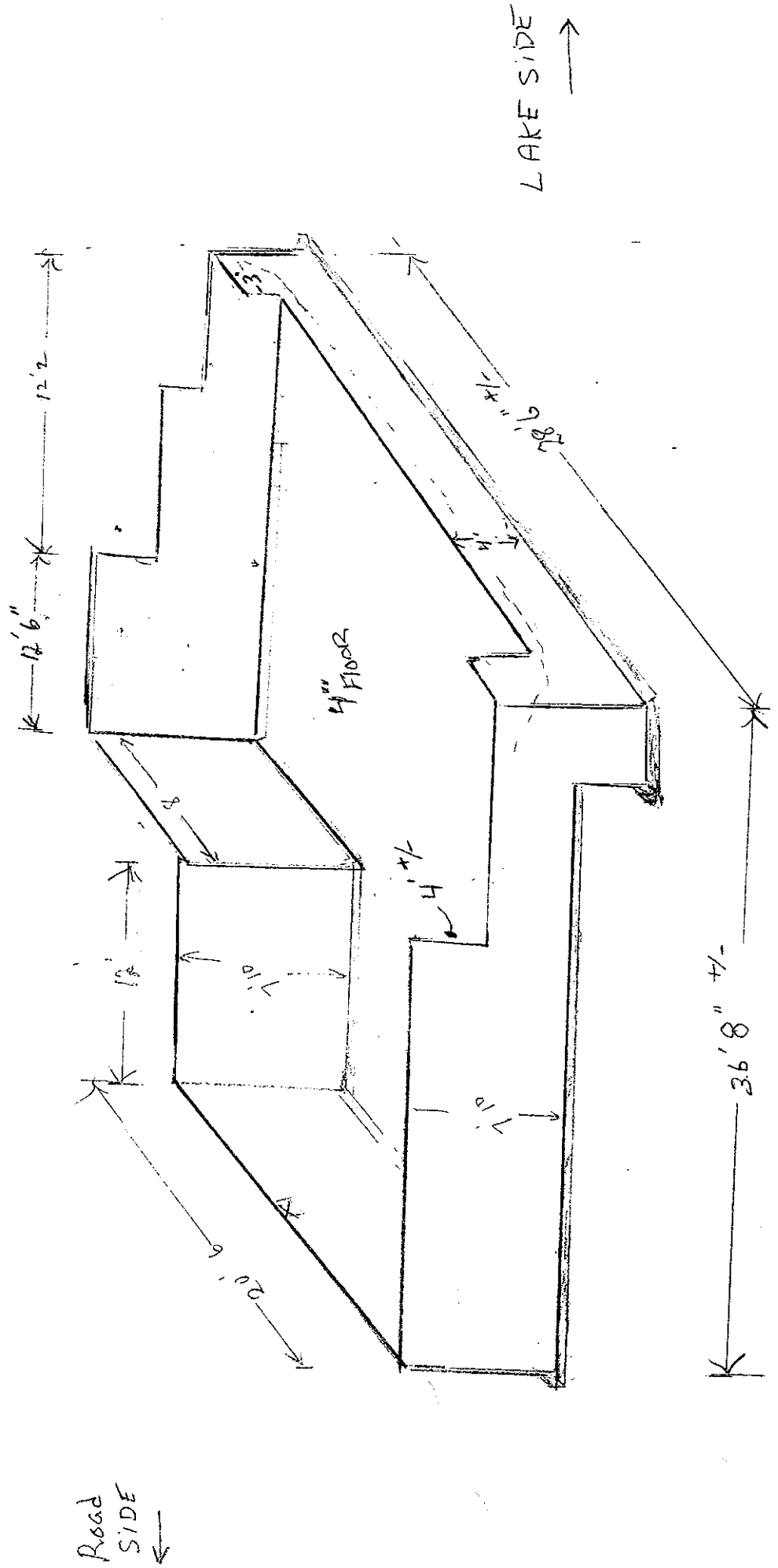
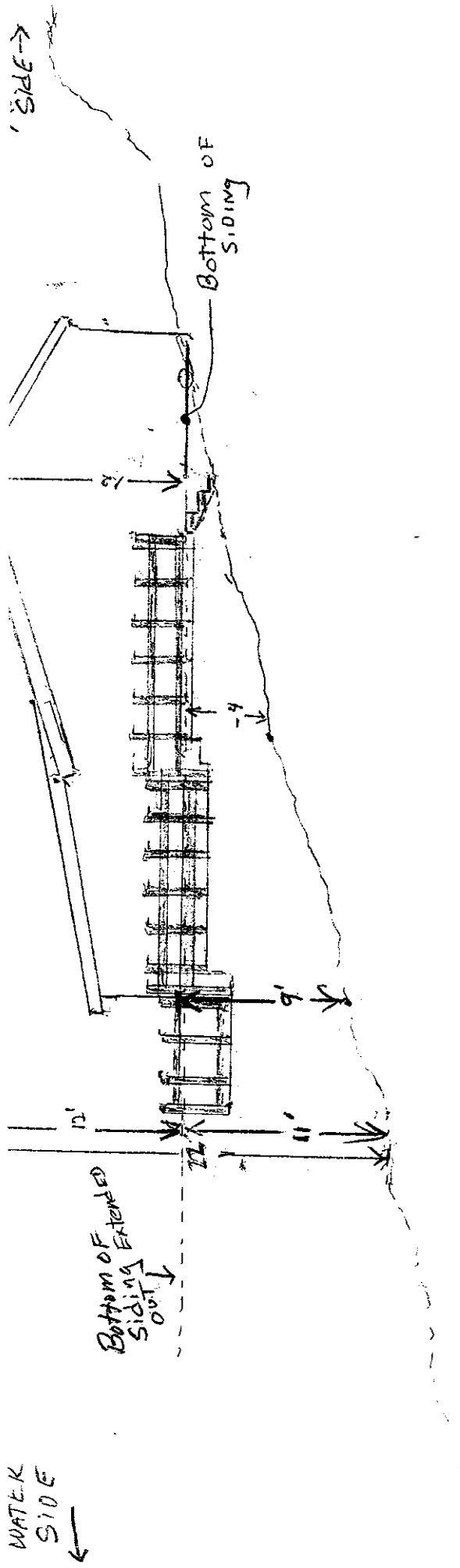


Exhibit E

Elevation Drawing of Existing Structure



- FROM PEAK TO THE BOTTOM OF SIDING ON HOUSE = 12'
- FROM PEAK TO TOP OF GROUND AT LOWEST END OF DECK EXTENSION IS 22'
- WILL ONLY BE ABLE TO RAISE CAMP 36" HIGHER
- IF DECK EXTENSION IS REMOVED THE CAMP COULD BE LIFTED A TOTAL OF 4'
- OWNERS ONLY WANT TO RAISE CAMP 3'

ELEVATIONS
 ONE SQUARE = 24"